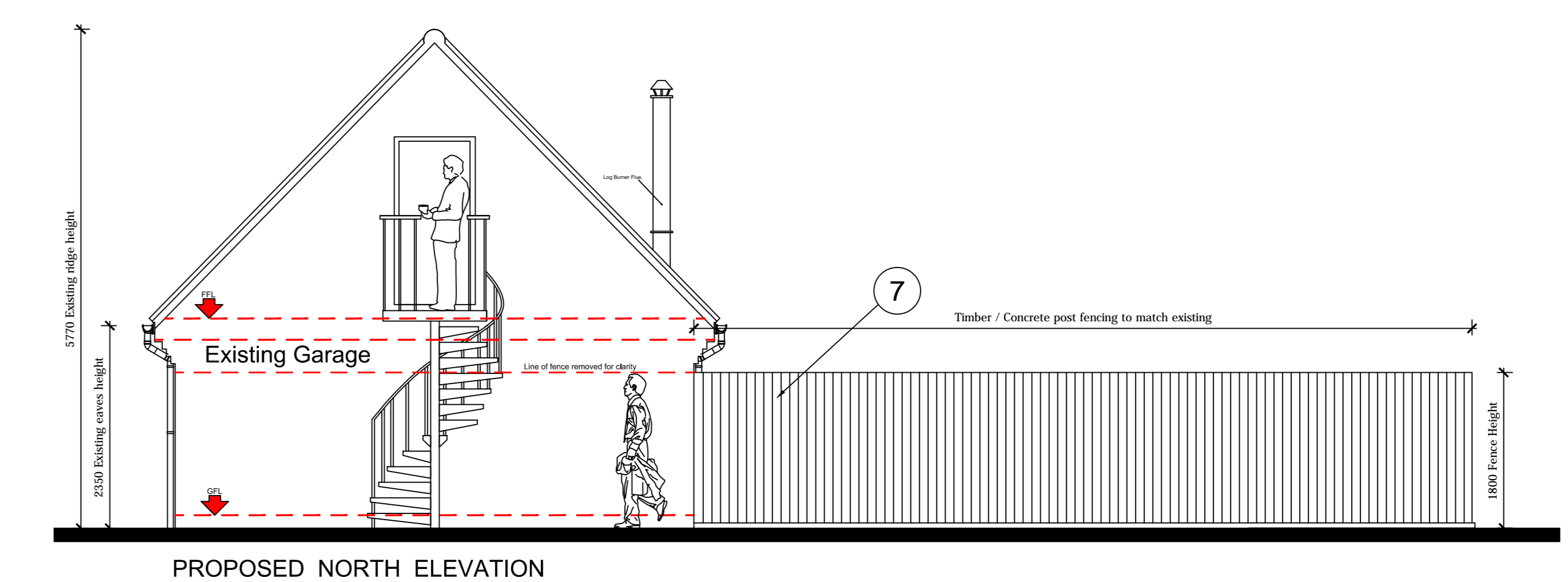
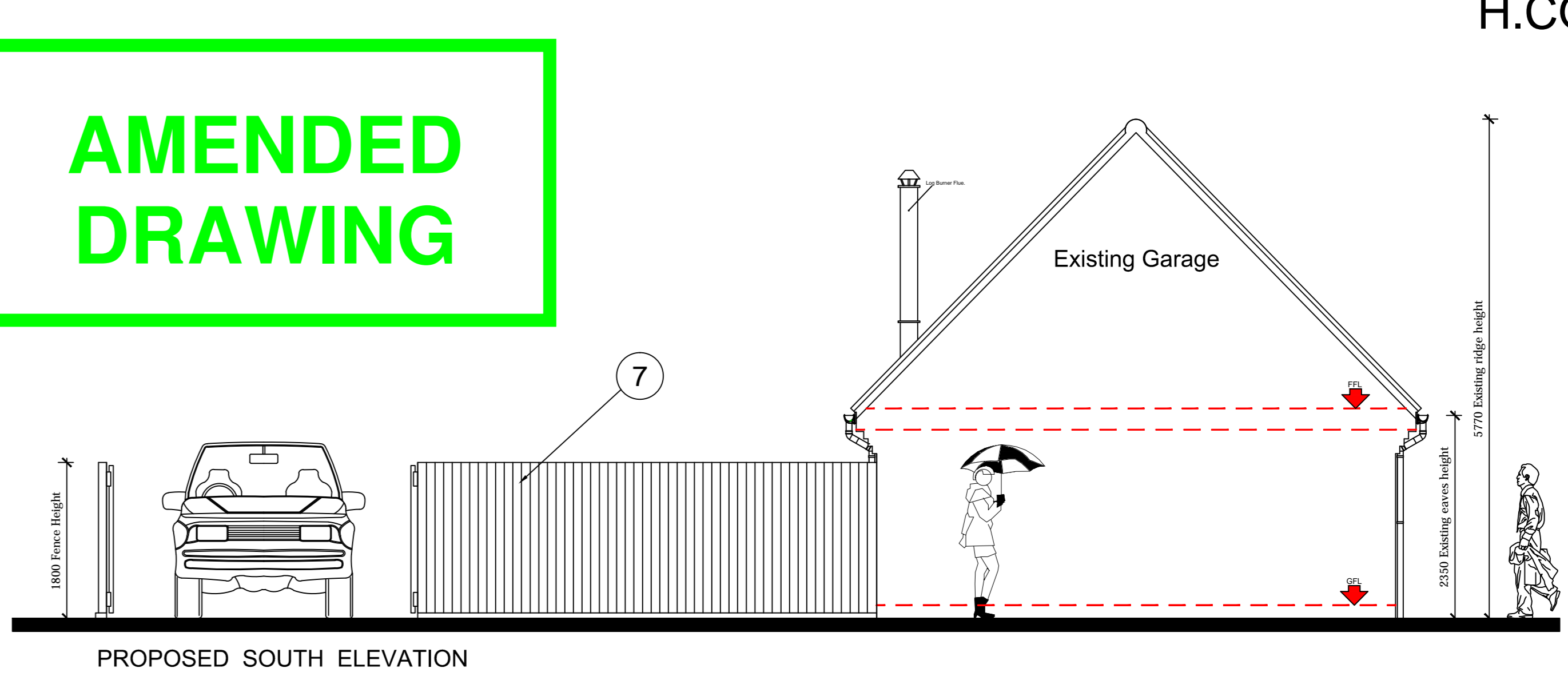
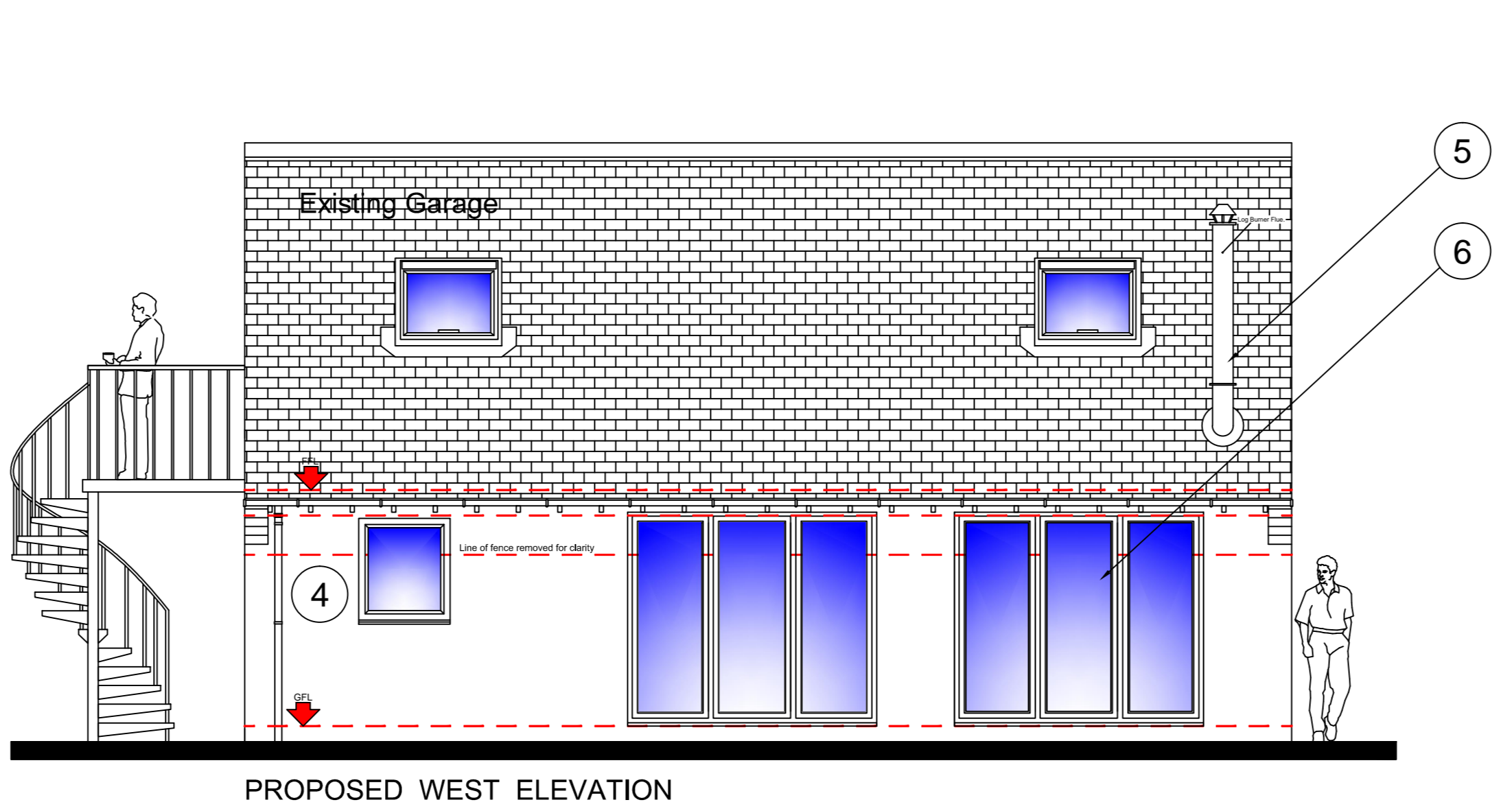
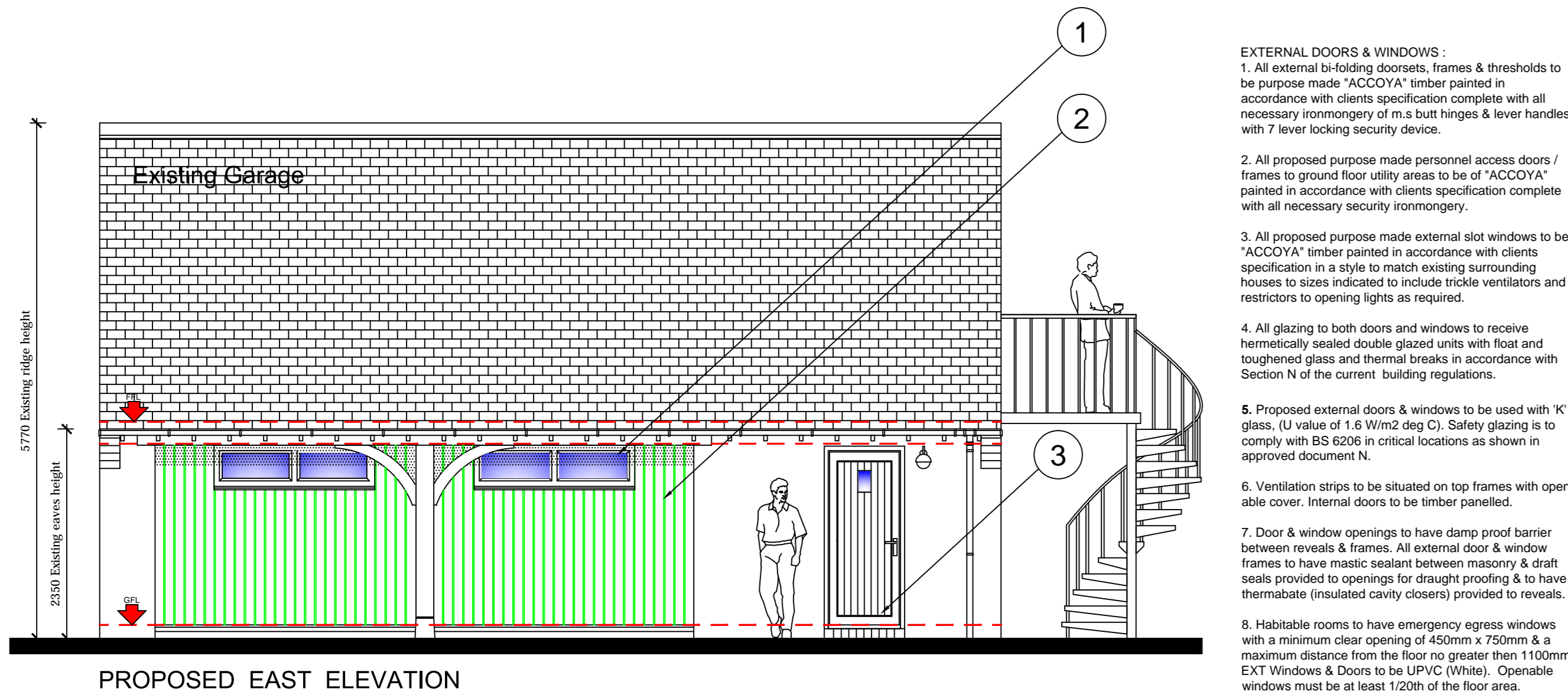


AMENDED DRAWING



- LEGEND :**
- Indicates Existing masonry walls
 - Indicates Proposed Brickwork
 - Indicates New Blockwork
 - Indicates New External wall
 - Indicates New Paramount walling
 - Indicates New Timber Stud Walls
 - Indicates Proposed Steel Beam

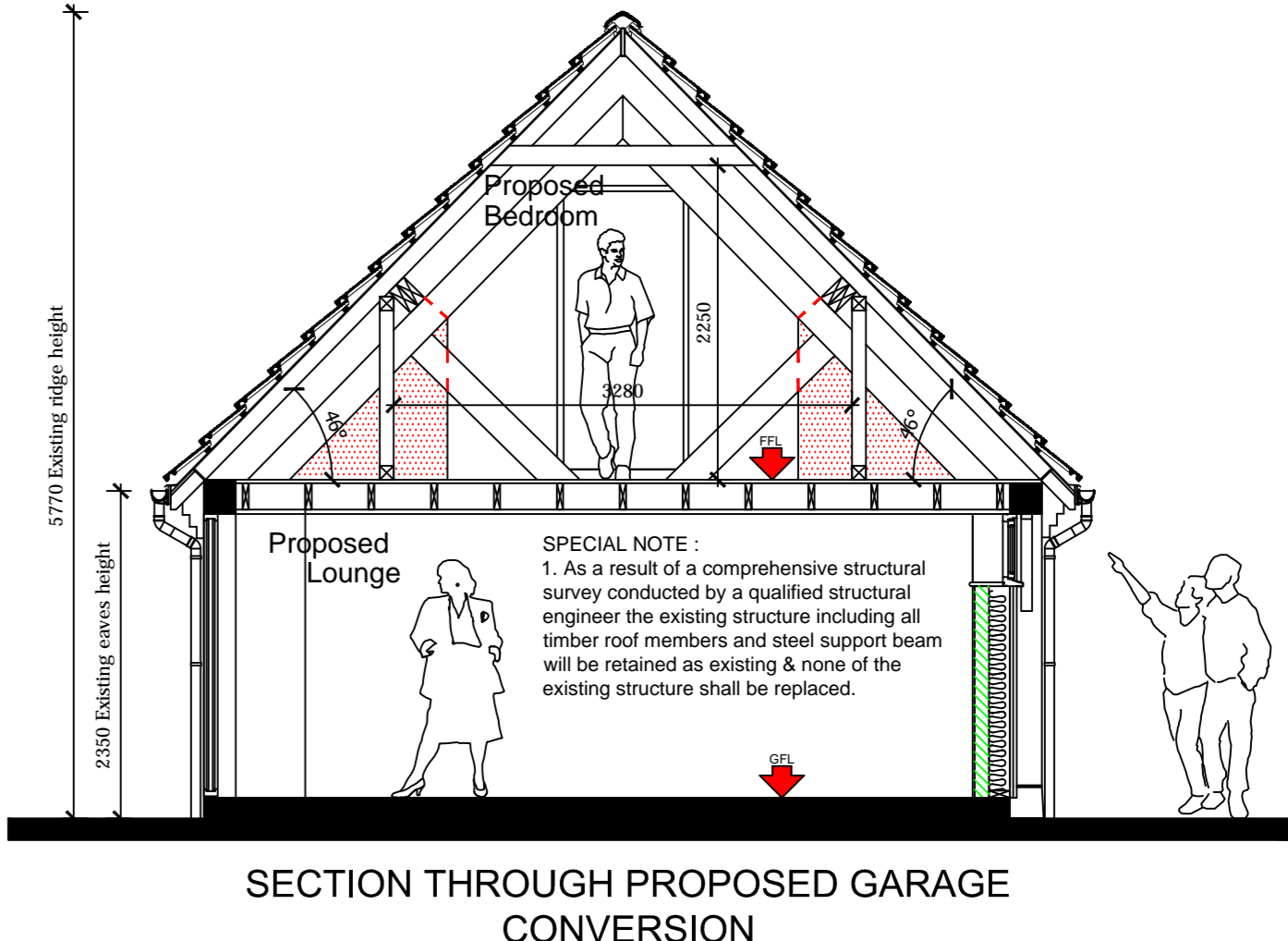


LEGEND OF EXTERNAL MATERIALS:

- 1. PROPOSED HIGH LEVEL 'ACCOYA' TIMBER SLOT WINDOWS IN ACCORDANCE WITH CLIENTS SPECIFICATION COLOUR : GRAPHITE GREY
- 2. PROPOSED 'ACCOYA' TIMBER VERTICAL WALL CLADDING IN ACCORDANCE WITH CLIENTS SPECIFICATION COLOUR : GRAPHITE GREY
- 3. PROPOSED 'ACCOYA' TIMBER ENTRANCE DOOR & FRAME IN ACCORDANCE WITH CLIENTS SPECIFICATION COLOUR : GRAPHITE GREY
- 4. PROPOSED 'ACCOYA' TIMBER WINDOW IN ACCORDANCE WITH CLIENTS SPECIFICATION COLOUR : GRAPHITE GREY
- 5. PROPOSED LOG BURNER FLUE TO COMPLY WITH CURRENT BUILDING REGULATIONS COLOUR : MATT BLACK
- 6. PROPOSED 'ACCOYA' TIMBER BI-FOLDING DOORS IN ACCORDANCE WITH CLIENTS SPECIFICATION COLOUR : GRAPHITE GREY
- 7. PROPOSED TIMBER / CONCRETE POST FENCING IN ACCORDANCE WITH CLIENTS SPECIFICATION TO MATCH EXISTING COLOUR : NATURAL

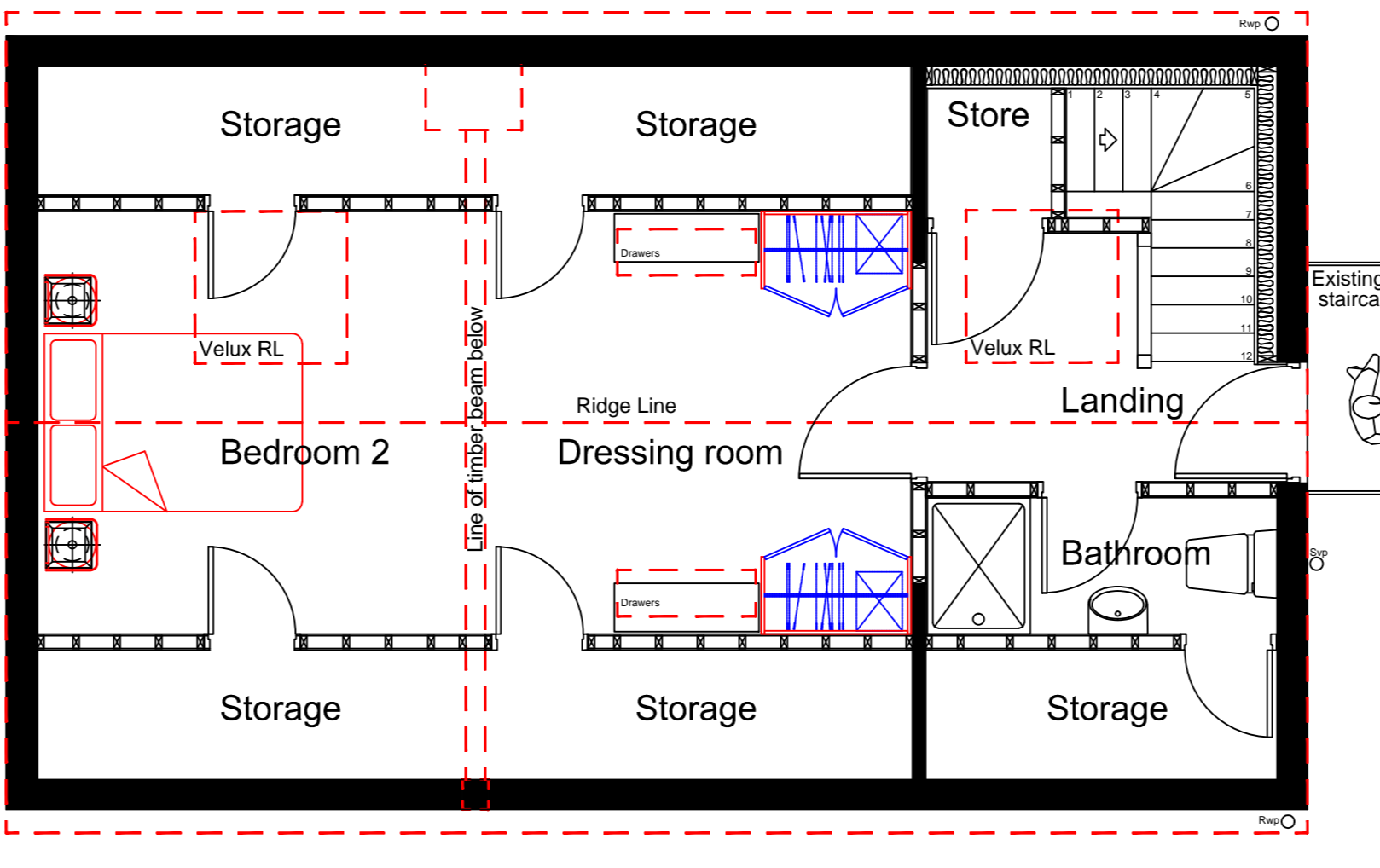
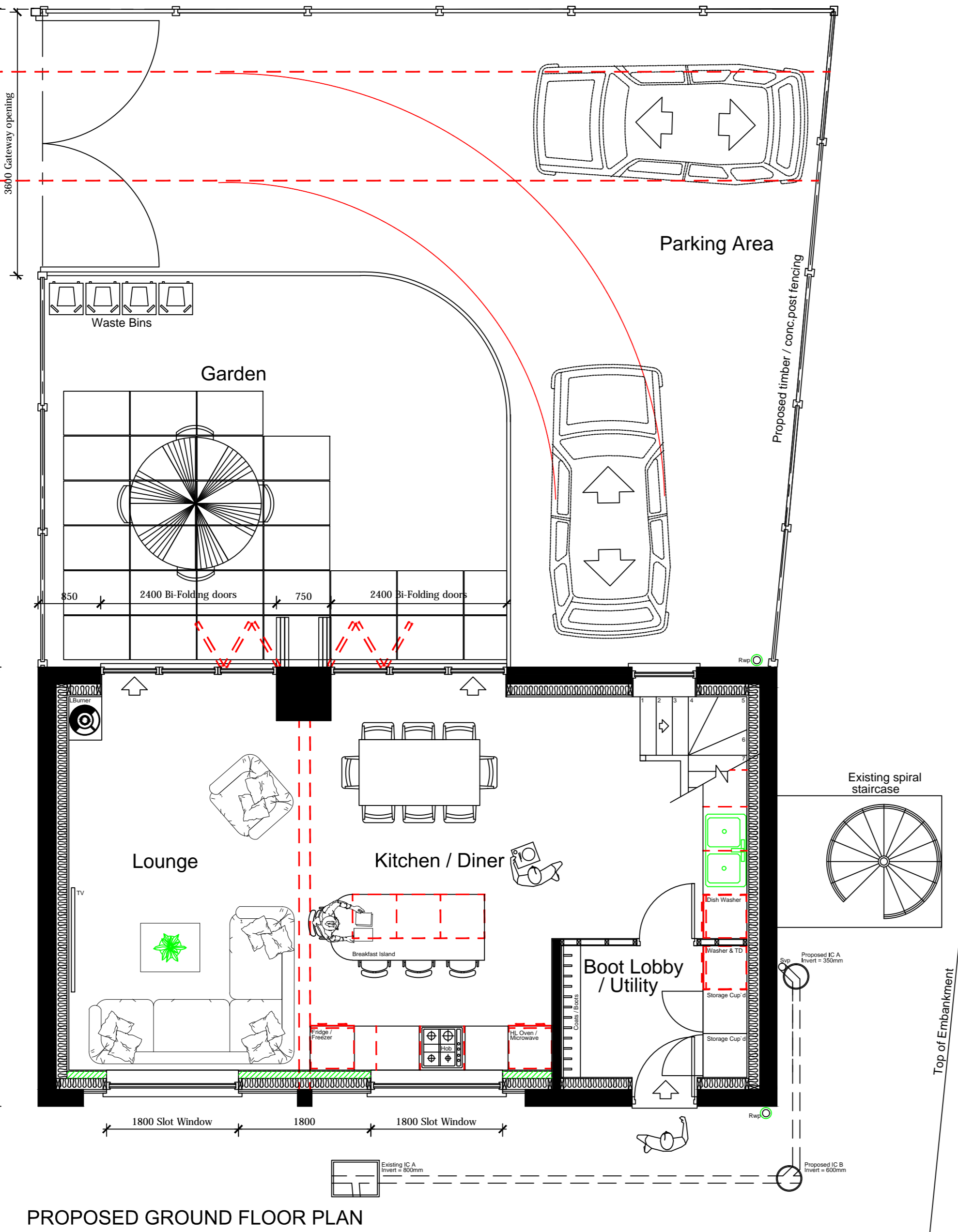
GENERAL NOTES

1. The contractor shall make arrangements with the client to visit the site prior to preparation of the Tender to acquaint himself with site accessibility, location for access skips and to ascertain existing ground conditions. He shall undertake an exploratory excavation to expose existing foundations and if necessary instruct a licensed geotechnical engineer or registered civil engineer to conduct a soil investigation report. He shall consider the existing water table and the possible requirement for concrete piles. He shall also locate the proximity of existing service utilities / domestic & main sewage drainage, make enquiries and provision with regard to local conditions and the full extent and character of the works in the context of the proposed development. He shall be deemed to have satisfied himself as regards existing conditions and generally to have obtained his own information on all matters affecting the execution of the works and if necessary make provision for engaging specialist consultants / sub-contractors to complete a thorough investigation of the proposed site.
2. All sizes shown on this drawing are in millimeters and should be checked on site to verify prior to ordering and fabrication of materials. Do not scale dimensions from this drawing. Work to figured dimensions in all cases.
3. All materials to be of a suitable nature and quality.
4. The contractor must establish the position of all incoming services and include for any modifications and or renewal of services effected by the alterations and include for all costs involved. Any works to be carried out in strict accordance with Statutory Authority requirements.
5. All work to be in accordance with the current Building Regulations and Approved Documents and to be to the satisfaction and approval of the Local Authority. A Building Notice should be submitted to the Local Authority Building Control Dept. with relevant fees no less than 48 hours prior to starting work on site.
6. All structural timber used to be C16 stress graded.
7. All electrical work to conform to N.I.C.E.I. regulations and to meet the requirements of Part P (Electrical Safety). All work to be designed, installed, inspected and tested by a member of the competent person scheme or a registered electrician who can issue a Certificate of Compliance of the works. Positions and number of strings to be agreed with the client prior to the installation.
8. If new heating system is installed, new installation is to be of condensing boiler type class A or B and have a minimum efficiency SEDBUK rating of 86% for mains natural gas. Installations are to be certified by approved and registered Engineers. GAS SAFE REGISTER for gas installers or OFTEC for oil installations. New installations are to conform to Part L of the Building Regulations and should also meet BS5410 and be in accordance with Part L2 of the Building Regulations. Full specification for heating system to be provided to the Building Inspector if required.
9. All new windows to be purpose made UPVC casement type, style to match existing house with a top hung opening light on security can open stay to be agreed with the client. All glazing in windows, to be 24mm double glazed sealed units (4-16-4) with a 16mm air filled gap and Low-E coating having a U value of min. 1.8 with a lead to comply with Part L of the Building Regulations. All rooms to have a min. 1/20th of the floor area in operable windows. Trickle ventilation is to be provided to give background ventilation of 800mm² to habitable rooms and 4000mm² to non-habitable rooms. All glazing to critical locations (less than 800mm above floor level) is to be toughened safety glass and satisfy the requirements of Class C of BS6206.
10. The contractor shall accept all liability in using any information from this drawing, which has been produced to obtain planning permission if required and/or in tendering the proposed works.
11. The contractor shall accept all liability when working on and adjacent to the neighbouring property, preparing for and ensuring that appropriate work shall be completed in a safe and secure manner and taking all appropriate measures to maintain a clean and weather tight environment. Any damage to the clients property or to neighbouring properties caused by the contractor or as a result of the contractors neglect shall be rectified immediately by the contractor and to a standard acceptable to the client / neighbour. Any disturbance to the client or the neighbours caused by the contractor shall also be rectified immediately.



DRAINAGE SPECIFICATION:

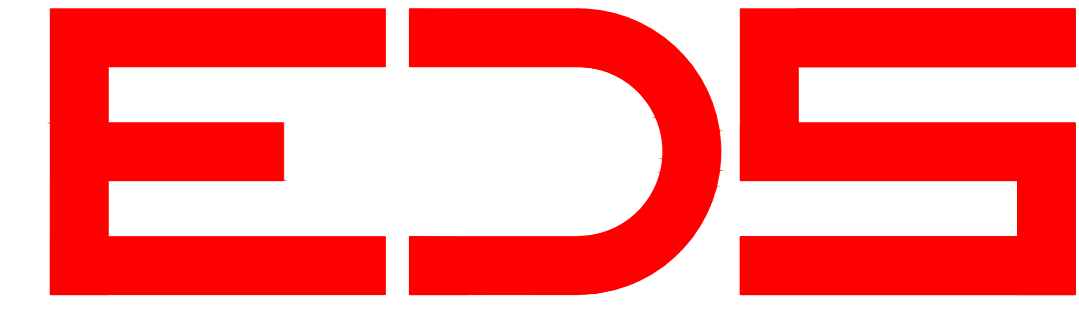
1. All new drainage pipework to be of HEPWORTH clay or plastic to diameters indicated on drawing complete with polypropylene couplings, bends, junctions, rest bends laid in accordance with manufacturers recommendations & to comply with Section H of the current building regulations.
2. All back inlet gullies, adaptors, rodding access chambers, inspection chambers in positions shown on drawing and in accordance with manufacturers recommendations and Section H of the current building regulations.
3. All drainage pipe runs to be laid in clean well compacted excavation trenches and bedded on 150mm min pea gravel with selected backfill to ground level.
4. All trenches within 1m of load bearing walls to be filled with concrete to the level of the underside of the foundations.
5. All trench runs more than 1m from a load bearing wall to be filled with concrete up to a level equal to the distance from the foundation less 150mm.
6. Where pipes pass through external cavity walls both walls shall be supported with a RCC steel bedded in sulphate resistant cement mortar.
7. All gully pots, rest bends, inspection chambers to be bedded on 150mm of wet concrete.
8. All septic tanks if required shall be 'COMBIDER' 2000 litre high grade polyethylene installed in conjunction with manufacturers recommendations and site a minimum of 15m from any dwelling.
9. All soakaways to be formed using only clean aerated hardcore to a depth agreed by the building inspector following a soil penetration test to BS 12917.
10. All necessary connections to existing main sewers / water courses including discharge from new septic tanks to be in accordance with local authority / rivers authority regulations and shall be achieved by introduction of NAVLOR band seal coupling or similar approved connection methods.



LOG BURNING STOVE / FLUE :

1. Proposed log burning stove to clients specification to be installed in accordance with manufacturers recommendations and part J of the current building regulations.
2. All proposed flue linings to be installed in accordance with manufacturers recommendations and part J of the current building regulations including height above roof level and 100mm above air opening lights such as windows with 2300mm or Velux roof lights.

REVISION 'D' (MARCH 2026)
Drawing amended to show clear maintenance area between top of watercourse embankment and structure / fencing / parking in accordance with LA planning officer & IDB officers recommendations .



Clients:
MS ANGELA KERSEY & MR KEVIN SARGINSON

Site Address :
THE FARMSTEAD, LUND LANE, CLIFFE-CUM-LUND, NR.SELBY, YO8 6PD.

Project:
PROPOSED CHANGE OF USE FROM GARAGE & STORAGE BUILDING TO RESIDENTIAL DWELLING & GARDEN / PARKING AREA.

Drawing Title :
GENERAL ARRANGEMENT : SCHEME 'B' PROPOSED FLOOR LAYOUT PLAN, SECTION & ELEVATIONS.

Drawing Scale : 1:50
Date : MAY 2025

Drawing Number: **H.CON.05.25.02** Rev: **D**